

**Item No 01:-**

**21/03283/FUL**

**13-30 Stockwells  
Moreton-In-Marsh  
Gloucestershire  
GL56 0HQ**

## Item No 01:-

**Demolition of 24 no. existing defective non-traditional houses and maisonettes and construction of 28 no. new affordable 2 and 3 bedroom houses, together with associated external works and landscaping at 13-30 Stockwells Moreton-In-Marsh Gloucestershire GL56 0HQ**

<b>Full Application 21/03283/FUL</b>	
Applicant:	Bromford Housing Association
Agent:	Oakley Architects Ltd
Case Officer:	Martin Perks
Ward Member(s):	Councillor Rachel Coxcoon
Committee Date:	8th December 2021
<b>RECOMMENDATION:</b>	<b>PERMIT subject to completion of a Unilateral Undertaking covering the provision of affordable housing</b>

### **Main Issues:**

- (a) Residential Development in a Development Boundary
- (b) Design and Impact on the Character and Appearance of the Area
- (c) Access and Parking
- (d) Impact on Residential Amenity
- (e) Flooding and Drainage

### **Reasons for Referral:**

This application has been referred to Planning and Licensing Committee by Officers as Cotswold District Council has agreed to fund the introduction of energy efficiency measures into the development scheme.

### **I. Site Description:**

I.1 This application relates to an existing residential estate development located in the eastern half of the town of Moreton-in-Marsh. The application site measures approximately 0.62 hectares in size and is occupied by a number of post war residential properties. The existing properties sit along the eastern, western and southern sides of a residential estate road (Stockwells). Post war residential development lies to the east and west of the application site. A wooded area lies adjacent to the southern boundary of the site. A field lies to the south of the wooded area.

I.2 The application site is located within Moreton-in-Marsh Development Boundary.

I.3 The site is located outside the Cotswolds Area of Outstanding Natural Beauty and Moreton-in-Marsh Conservation Area.

1.4 The site is predominantly located within a Flood Zone 1. However, an area of garden land lying adjacent to the southern boundary of the site falls within Flood Zone 2.

## **2. Relevant Planning History:**

### **2.1 Application Site**

None

### **2.2 Land adjacent to South and West of the Site (Brookfields, Primrose Court)**

01/01512/FUL Erection of 4 detached dwellings, 1 semi-detached dwelling and 2 flats. Refused 2002

03/03149/OUT Demolition of 'Brookfields' bungalow and construction of 3 No. 3-bed houses. Permitted 2004

04/00592/OUT Erection of 5 Dwellings. Refused 2005

05/00211/FUL Demolition of existing bungalow. Erection of four semi-detached two storey houses. Permitted 2005

## **3. Planning Policies:**

DS2 Dev within Development Boundaries

H1 Housing Mix & Tenure to meet local needs

EN1 Built, Natural & Historic Environment

EN2 Design of Built & Natural Environment

EN8 Bio & Geo: Features Habitats & Species

EN14 Managing Flood Risk

INF3 Sustainable Transport

INF4 Highway Safety

INF5 Parking Provision

## **4. Observations of Consultees:**

4.1 Gloucestershire County Council Highways: No objection subject to conditions

4.2 Gloucestershire County Council Lead Local Flood Authority: No objection subject to conditions

4.3 Gloucestershire County Council Community Infrastructure: No contribution to education or library services requested.

Thames Water: No objection

## **5. View of Town/Parish Council:**

5.1 *'The Town Council would like to submit the following comments re the above application:*

*(1) Planning Officer is asked to scrutinise the Flood Management Plan and the runoff into Evenlode which is prone to flooding.*

(2) *While properties on the proposed development may not flood, its engineering is considered likely to exacerbate the flood risk at existing properties*

(3) *Town Council has concerns that the non-return valve that feeds in from Mosedale and Croft Holm do not function as intended and would like to ask GCC Highways to investigate*

(4) *Planning Officer is asked to consult with the EA who share our concern at the flood potential at the Evenlode and is creating plans to mitigate this risk, and the Lead Local Flood Authority which is GCC.*

(5) *MiMTC offers to meet with CDC.*

(6) *MiMTC assumes the developer is aware of the floods of 23rd December 2020 and the further mitigation works proposed and would be interested to know of any plans the developer may have to positively contribute.*

(7) *MiMTC expects GCC to request S106 monies for primary and pre-primary education in the town as likely new occupants will be families whereas previous occupants were likely retirees. Therefore, MiMTC expects education planning to calculate needs based on total number of new properties and not on the net housing gain.*

(8) *Finally, we note that CDC is a partner in this housing development, which incorporates lower carbon features in its homes. To prevent any impression of conflict of interest, we would expect this case to be referred to the Planning Committee at CDC automatically, as it is a CDC backed project. '*

## **6. Other Representations:**

6.1 1 objection received.

(1) *The Cornish Houses may be described as non-traditional but their proposed replacements are equally inappropriate. The elevations depict ubiquitous modern detailing which in no way reflects distinctive traditional Cotswold characteristics or even the facing materials found in the immediate locality.*

(2) *Cotswold Design Code D14 requires that close attention should be given to the site, its setting and should work at all levels, including 'elevations and detailed features of the buildings'.*

(3) *D15 suggest that a scheme should respect local character, have its own identity and character whilst still responding to the wider context.*

(4) *D23 states that new designs should not draw on existing buildings that have not respected local distinctiveness.*

(5) *D29 refers to the architectural distinctiveness of the area being maintained even with contemporary building designs.*

(6) *Just because the existing houses are non traditional and they are intended to provide low cost housing does not mean that their replacements should be substandard in design and ignore local design guidance. The elevations indicate bargeboards, fascias and deep soffits which are generally not*

*permitted under the Design Code. Red brickwork, as found in buildings locally would be far more appropriate than smooth render. The fenestration and detailing should also be reconsidered.*

*(7) As submitted, we consider the proposals are not compliant with the Cotswold Design Code or specific guidance on Context, Local Character, Building Design Principles contained in the National Model Design Code.'*

## **7. Applicant's Supporting Information:**

Affordable Housing Statement  
BS5837 Arboricultural Survey and Constraints Report  
Design and Access Statement  
Flood Risk Assessment  
Phase II Site Appraisal Report  
Phase I Desk Study  
Planning Statement  
Site Waste Management Plan  
Transport Assessment  
Outline Ecological Impact Assessment

## **8. Officer's Assessment:**

### **Proposed Development**

8.1 This application is seeking to demolish 24 dwellings (comprising 12 flats and 12 houses) and to erect 28 dwellings in their place. The existing dwellings are of a pre-fabricated construction and are known as 'Cornish' houses. The existing dwellings have the appearance of semi-detached properties. The existing dwellings are arranged in a linear form and face towards the central estate road.

8.2 The proposed replacement dwellings will comprise 25 2 bed 4 person and 3 3 bed 5 person dwellings. The 2 bed dwellings will be 2 storey in height whilst the 3 bed dwellings will be 2.5 storey high. The proposed dwellings will measure between approximately 8.5m and 9.3m in height. The external walls of the proposed dwellings will be constructed in a mix of buff brick and render. The roofs will be covered in concrete tile of a grey colour.

8.3 The proposed dwellings will be arranged in a linear manner to the east, west and south of the existing estate road. The dwellings will be divided into 11 blocks, with each block containing either 2 or 3 dwellings. The dwellings will be set back between 7-12m from the existing road and will face towards the highway. The layout and orientation of the proposed dwellings is similar to those already present on the site.

8.4 Car parking will be provided to the front or side of each dwelling. A total of 60 car parking spaces will be provided, of which 56 will serve individual properties and 4 will be set aside as visitor parking.

8.5 The applicant is a registered affordable housing provider and is proposing to let 100% of the proposed dwellings as affordable units in partnership with Cotswold District Council. At present, none of the dwellings are subject to a planning obligation restricting their occupation to affordable homes. In accordance with Local Plan Policy H2 Affordable Housing,

the applicant has submitted a Unilateral Undertaking confirming that 30% of the proposed dwellings (8 in total) will be formally designated as affordable homes. Plots 21-28 will be covered by the aforementioned agreement. Current policy cannot require a greater number of dwellings to be covered by the agreement. However, the applicant's status as a registered provider of affordable homes means that other units not covered by the agreement will also be let as affordable dwellings.

8.6 The proposed dwellings will be of a modular construction and are designed to be net zero in terms of carbon emissions. Cotswold District Council has agreed to fund a number of measures such as air source heat pumps, photo voltaic panels, higher levels of insulation and electricity storage batteries in order to achieve the goal of a net zero development.

**(a) Residential Development in a Development Boundary**

8.7 The application site is located within Moreton-in-Marsh Development Boundary. The following policy is applicable to residential development in such locations:

8.8 Policy DS2 Development Within Development Boundaries

*'Within the Development Boundaries indicated on the Policies Maps, applications for development will be permissible in principle.'*

8.9 The erection of new build housing on the site is therefore considered to be acceptable in principle.

8.10 Notwithstanding the above, the proposal also has to be assessed against other Local Plan policies and national guidance. The wider impacts of the proposal are addressed in the following sections.

**(b) Design and Impact on the Character and Appearance of the Area**

8.11 The following Local Plan policy is considered applicable to this application:

8.12 Local Plan Policy EN2 Design of the Built and Natural Environment

*'Development will be permitted which accords with the Cotswold Design Code. Proposals should be of design quality that respects the character and distinctive appearance of the locality.'*

8.13 The application site forms part of a post war housing development located in the eastern part of Moreton-in-Marsh. The site occupies the southern part of an estate road (Stockwells) which ends in a cul-de-sac at its southern end. The existing road is characterised by 2 distinct architectural styles. The application site is characterised by part hipped roof tile hung/rendered properties known as Cornish houses. The northern part of Stockwells, falling outside the application site, is characterised by more traditional gable ended terraced and semi-detached properties which are constructed in a buff brick.

8.14 Stockwells is also bordered to the east and west by post war housing. The site is therefore located in a part of the settlement which is characterised by 20th Century residential estate style development.

8.15 The dwellings proposed for demolition are of a non-traditional pre-fabricated construction. The nature of construction means that the existing dwellings are not energy efficient and are reaching the end of their natural life. The dwellings do not lend themselves to the level of refurbishment or upgrading necessary to meet modern living standards or to address the impact of climate change. It is considered that a more sustainable and energy efficient form of development can be achieved as a result of a new build scheme. In addition, the existing dwellings are considered not to be of any particular historic or architectural interest. The removal of the dwellings is therefore considered not to have an adverse impact on the character or appearance of the locality.

8.16 With regard to the new build dwellings, the applicant is seeking to use a modular construction technique. The benefits of such an approach are that the homes can be produced in less than half the time of traditional construction methods, which means that i) the affordable homes will be available more quickly and ii) the construction phase of the development will cause less disruption to local residents. It also means that energy efficiency measures can be introduced more readily into the new dwellings during the construction phase. Cotswold District Council (CDC) has also agreed to provide funding to secure a number of energy efficiency measures into the development in order to create a net zero development.

8.17 The applicant states:

*'All the new homes are to be built using Modern Methods of Construction (MMC) and will utilise off site manufactured Modular Construction designed and manufactured by Ilke Homes. This type of construction brings significant advantages to the construction process and substantially enhances the sustainability of the new development. The off-site manufacturing process comprises fully factory assembled modules for each house, which are delivered to site as 2 or 3 fully completed modules per house and are craned onto pre-prepared foundations.*

*This construction method delivers major benefits over traditional construction and other forms of off-site manufacture by reducing waste, reducing site deliveries, reducing the impact upon local air quality, minimising noise and dust, increasing quality, reducing build programme and improving general site safety.*

*The fabric of the homes, through the use of highly insulated walls, floors, roof, the high performance windows and doors and draft free construction means that the fabric of the homes is 20% better than the current Building Regulations standard.*

*The efficiency of the homes is further enhanced through the use of LED lighting, efficient water fittings and efficient low energy ventilation all of which contribute to lowering the emissions from the homes.*

*With regards to the additional enhancements Cotswold District Council specifically asked Bromford to increase the specification from gas heating to include Air Source Heat Pump, Solar PV and Battery storage which achieve Carbon Zero, however if the grant is not forthcoming the scheme would obviously remain as MMC Modular Construction but would revert to bring delivered using gas central heating and water heating.'*

8.18 Whilst it anticipated that the proposed development will receive funding from CDC, Officers have had regard to the sustainability credentials of the scheme should such funding not occur. In this respect, it is noted that the proposed construction method will result in a

development that exceeds current Building Regulations standards. Without funding from CDC, the proposed scheme would still be of a form that would be more energy efficient than current building standards.

8.19 With regard to the design of the scheme, the layout and arrangement of the proposed dwellings is very similar to the existing street layout. The creation of lines of properties fronting onto the estate road is consistent with the existing character of the road and existing dwellings located in the northern part of Stockwells. The provision of parking spaces to the front of dwellings is also consistent with the character of the existing road. It is also noted that the applicant is proposing to increase the number of trees in the area in accordance with the aspirations of paragraph 131 of the National Planning Policy Framework (NPPF).

8.20 The proposed development will provide each property with a rear garden, each of which will be of a similar size to existing gardens. A degree of openness will also be retained to the front of dwellings thereby enabling the sense of space currently experienced along either side of Stockwells to be retained. The proposed scheme is considered not to represent an overdevelopment of the site.

8.21 With regard to the design of the individual dwellings, the proposed units will be of a similar size and scale to existing dwellings on the site and on adjacent developments. The proposal is considered to respect the character and appearance of the area in this respect. The concerns of the objector regarding the design of the dwellings is noted. It is acknowledged that the design deviates from a traditional Cotswold building form. However, it is also necessary to have regard to the context of the site and the character of existing development in the locality when considering this application. The existing dwellings on the site are non-traditional in appearance and have a very distinct character. Post war residential estate development is also located to the north, east and west of the application site. The dwellings in the aforementioned areas are of a varied design resulting in a mix of architectural styles in the locality.

8.22 The general proportions of the proposed dwellings are not uncharacteristic of the wider area. The use of a buff brick will tie in with the materials used in dwellings in the northern part of Stockwells. In addition, render is evident on a number of post war properties in the eastern part of Moreton-in-Marsh. Features such as eaves fascias and bargeboards are also evident in residential estates to the east and west of the application site. Whilst the fenestration proposed in the front elevations of the new dwellings is distinct from that seen in other properties in the area, the design approach is considered not to be harmful to the character or appearance of the area in light of the context of the site. Given the discreet location of the site at the end of a residential cul-de-sac, its lack of view from the wider public domain and the character and appearance of existing development, it is considered that the design of the scheme is not inappropriate for this location.

8.23 Overall, it is considered that the proposed development will not have an adverse impact on the character and appearance of the area. The proposed development seeks to address the impact of climate change and will provide affordable homes for local people.

### **(c) Access and Parking**

8.24 The proposed development will be served by the existing estate road. It is not proposed to alter the alignment of the road or make alterations to the existing junction of



Stockwells with London Road to the north. The existing hammerhead turning area located at the southern end of Stockwells will also be retained.

8.25 The existing estate road is of a suitable width and layout to accommodate service and refuse vehicles. The proposed dwellings are also sufficiently close to the highway to enable kerbside refuse collection.

8.26 Each property will be provided with parking spaces to its side or front. All of the proposed dwellings will be provided with 2 parking spaces. A further 4 visitor parking spaces will be located within the southern part of the application site. The level of car parking is considered to be appropriate for the size and number of dwellings proposed in accordance with Local Plan Policy INF5.

8.27 Each dwelling will be provided with an electric vehicle charging point. In addition, secured covered cycle parking will also be provided for each dwelling. The site is also within walking distance of a range of services and facilities.

8.28 Gloucestershire County Council (GCC) Highways has assessed the application and raises no objection to the proposal. It is recommended that conditions regarding the agreement of a construction method statement and measures to minimise disturbance to the northern part of Stockwells during the construction phase of the development are attached to a decision notice should permission be granted.

8.29 Overall, it is considered that the proposed scheme can be undertaken without having an adverse impact on highway safety or parking. Provision is also made for electric vehicles and bicycles to encourage more sustainable modes of travel. The proposal is considered to accord with Local Plan Policies INF3, INF4 and INF5.

#### **(d) Impact on Residential Amenity**

8.30 The floorspace of the proposed dwellings meets the Government's Technical Housing Standards - nationally described space standard document as required by Local Plan Policy H1.

8.31 Each dwelling will be provided with a level of outdoor garden space which is considered to be commensurate with the size of the dwellings proposed in accordance with guidance in the Cotswold Design Code.

8.32 The proposed dwellings will be orientated and positioned so as to ensure that occupiers of the proposed and existing dwellings will receive adequate levels of light in accordance with guidance in BRE document IP23/12 Site Layout Planning for Daylight.

8.33 The windows of the proposed dwellings will be in excess of 22m of existing dwellings located to the north, east and west of the application site. The separation distances are in excess of the minimum distance set out in the Cotswold Design Code. It is considered that the proposed development can be undertaken without having an adverse impact on privacy.

8.34 Overall, it is considered that the proposed development accords with guidance in the Cotswold Design Code concerning residential amenity.

## **(e) Flooding and Drainage**

8.35 The proposed dwellings will be located in a Flood Zone 1 which is the lowest designation of flood zone and wherein new residential development can be acceptable in principle.

8.36 The applicant has submitted a Flood Risk Assessment (FRA) with the application. The FRA identifies that the geology of the site limits infiltration drainage measures. The applicant is therefore proposing to install an underground storage tank which will store surface water run-off before releasing it to a watercourse to the south-east. The discharge rate will be limited to 14.4l/s. The proposed on site drainage solution will be suitable to attenuate flows up to and including the 1 in 100 year + 40% rainfall event. The area of the site in Flood Zones 2 and 3 will remain as garden as at present.

8.37 Gloucestershire County Council Lead Local Flood Authority has assessed the application in its role as a statutory consultee. The comments of the Town Council have also been forwarded to the Lead Local Flood Authority. It has therefore had regard to the concerns raised about drainage issues in the area. It also considers that the proposed drainage measures are acceptable and will not have an adverse impact on drainage in the locality. No objections are therefore raised.

8.38 With regard to foul drainage, Thames Water has assessed the application and raises no objection.

8.39 It is considered that the proposed development can be undertaken without have an adverse impact on foul or surface water drainage in accordance with Local Plan Policy EN14.

## **Other Matters**

8.40 The existing site and dwellings have been subject to ecological surveys in order to identify whether protected species are present on the site. The interior of dwellings was assessed as part of this process. The surveys did not find evidence of any protected species on the site. It is considered that the current dwellings can be removed without having an adverse impact on protected species or their habitat. The proposed scheme will introduce more soft landscaping onto the site than at present. In addition, bird and bat boxes will be installed on a number of dwellings and measures to introduce hedgehog gaps in garden fencing are also proposed. It is considered that the proposal will enhance the ecological potential of the site in accordance with Local Plan Policy EN8.

8.41 The proposed development is liable for the Community Infrastructure Levy (CIL). Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material 'local finance consideration' in planning decisions. Notwithstanding this, a CIL exemption can be secured if the development is for affordable housing provided by a registered provider. No payment would be required if an exemption is sought prior to the commencement of development.

8.42 The proposed development will result in a net increase of 4 dwellings on the site. The proposal therefore falls below Gloucestershire County Council's 10 unit threshold for education contributions and 25 unit threshold for library contributions. No financial contributions have therefore been sought by GCC in the case of this application.

## 9. Conclusion

9.1 Overall, it is considered that the proposed scheme will enable the provision of a more energy efficient and sustainable form of development whilst also providing new affordable homes for local people. In addition, the proposal is considered not to have an adverse impact on the character or appearance of the area, highway safety, flooding or drainage, residential amenity or biodiversity. It is therefore recommended that the application is granted permission.

## 10. Proposed conditions:

1. The development shall be started by 3 years from the date of this decision notice.

**Reason:** To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be carried out in accordance with the following drawing number(s):

201734 03A, 201734 18J, 201734 21C, 201734 22B, 201734 28B, 201734 29B, 201734 30A, 201734 31, 201734 32, 201734 33, 201734 34, 201734 35, 201734 36, 201734 37, 201734 39, 201734 40, 215-20-01A 6

**Reason:** For purposes of clarity and for the avoidance of doubt, in accordance with the National Planning Policy Framework.

3. Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling and roofing materials shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

**Reason:** To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

4. Prior to the construction of any external wall of the development hereby approved, a sample panel of render of at least one metre square in size showing its proposed texture and colour shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel and shall be permanently retained as such thereafter. The panel shall be retained on site until the completion of the development.

**Reason:** To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

5. Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the proposed brick colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning

Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

**Reason:** To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

6. Prior to the commencement of development, including any works of demolition, details of the proposed construction access arrangements to the application site, including measures to minimise disturbance to the occupants of the retained dwellings on Stockwells, shall be submitted to and approved in writing by the Local Planning Authority and the development shall be undertaken fully in accordance with the approved details.

**Reason:** In the interests of highway safety in accordance with Local Plan Policy INF4. It is important that these details are agreed prior to the commencement of development as any on site works could have implications for the safe operation of the highway.

7. Prior to the commencement of development, including any works of demolition, a detailed Construction Management Plan shall be submitted to and approved in writing by the Local Planning Authority and thereafter all demolition and construction work shall be carried out in full compliance with the approved Plan. The Plan shall include but not be restricted to:

- i) Parking of vehicles of site operatives and visitors (including any measures required to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
- ii) Routes for construction traffic;
- iii) Any temporary access to the site;
- iv) Locations for on-site loading/unloading and storage of plant, waste and construction materials;
- v) Locations of offices, welfare facilities, and temporary storage of earthworks materials;
- vi) Arrangements for establishing and maintaining site security;
- vii) Method of preventing mud and dust being carried onto the highway;
- viii) Arrangements for turning vehicles;
- ix) Arrangements to receive abnormal loads or unusually large vehicles;
- x) Methods of communicating the Construction Management Plan to staff, visitors and neighbouring residents and businesses; and
- xi) Construction and delivery hours.

**Reason:** In the interests of highway safety in accordance with Local Plan Policy INF4. It is important that these details are agreed prior to the commencement of development as any on site works could have implications for the safe operation of the highway.

8. Prior to the first occupation of each dwelling hereby permitted, the car parking spaces for each respective dwelling shall be provided fully in accordance with the approved plans. Visitor parking shall be provided fully in accordance with the approved plans prior to the occupation of the last dwelling to the completed.

**Reason:** To ensure that there are adequate parking facilities to serve the development are provided in accordance with Local Plan Policy INF5.

9. Prior to the first occupation of each dwelling hereby permitted, secure covered cycle parking for each respective dwelling shall be provided fully in accordance with the approved plans and retained in accordance with the approved plans thereafter.

**Reason:** To ensure that there are adequate parking facilities to serve the development are provided in accordance with Local Plan Policy INF3.

10. Prior to the first occupation of each dwelling hereby permitted, each respective dwelling shall be fitted with an electric vehicle charging point. The charging point shall comply with BS EN 62196 Mode 3 or 4 charging and BS EN 61851. The electric vehicle charging point shall be retained for the lifetime of the development unless it needs to be replaced in which case the replacement charging point shall be of the same specification or a higher specification in terms of charging performance.

**Reason:** To promote sustainable travel and healthy communities in accordance with Local Plan Policy INF3.

11. No dwelling hereby permitted shall be occupied until a SuDS management and maintenance plan for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime, has been submitted to and approved in writing by the Local Planning Authority. The approved SUDS management and maintenance plan shall be implemented in full in accordance with the agreed terms and conditions.

**Reason:** To ensure the continued operation and maintenance of drainage features serving the site and avoid flooding in accordance with Local Plan Policy EN14.

12. No development shall commence on site until a detailed Sustainable Drainage System (SuDS) Strategy document has been submitted to and approved in writing by the Local Planning Authority, this should be in accordance with the proposal set out in the approved submission (Flood Risk Assessment; HLEF81052; July 2021). The SuDS Strategy must include a detailed design and a timetable for implementation. The SuDS Strategy must also demonstrate the technical feasibility/viability of the drainage system through the use of SuDS to manage the flood risk to the site and elsewhere and the measures taken to manage the water quality for the life time of the development. The approved scheme for the surface water drainage shall be implemented in accordance with the approved details before the development is first put in to use/occupied.

**Reason:** To ensure the development is provided with a satisfactory means of drainage and thereby preventing the risk of flooding. It is important that these details are agreed prior to the commencement of development as any works on site could have implications for drainage, flood risk and water quality in the locality in accordance with Local Plan Policy EN14.

13. The entire landscaping scheme shall be completed by the end of the first full planting season (1st October to the 31st March the following year) immediately following the first occupation of the development hereby permitted.

**Reason:** To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy EN2.

14. Any trees or plants shown on the approved landscaping scheme to be planted or retained which die, are removed, are damaged or become diseased, or grassed areas which become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

**Reason:** To ensure that the planting becomes established and thereby achieves the objective of Cotswold District Local Plan Policy EN2.

15. The development shall be undertaken in accordance with the recommendations set out in Section 5 of the Outline Ecological Impact Assessment dated July 2021 with new bird and bat boxes installed in accordance with drawing 201734 18J and hedgehog gaps introduced in rear garden boundary fencing prior to the last occupation of the development.

**Reason:** In order to provide ecological mitigation and enhancements in accordance with Local Plan Policy EN8.

**Informatives:**

1. The development hereby approved includes the carrying out of work on the adopted highway. You are advised that before undertaking work on the adopted highway you must enter into a highway agreement under Section 278 of the Highways Act 1980 with the County Council, which would specify the works and the terms and conditions under which they are to be carried out.

Contact the Highway Authority's Legal Agreements Development Management Team at [highwaylegalagreements@gloucestershire.gov.uk](mailto:highwaylegalagreements@gloucestershire.gov.uk) allowing sufficient time for the preparation and signing of the Agreement. You will be required to pay fees to cover the Council's costs in undertaking the following actions:

- i. Drafting the Agreement
- ii. A Monitoring Fee
- iii. Approving the highway details
- iv. Inspecting the highway works

Planning permission is not permission to work in the highway. A Highway Agreement under Section 278 of the Highways Act 1980 must be completed, the bond secured and the Highway Authority's technical approval and inspection fees paid before any drawings will be considered and approved.

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**SITE LOCATION PLAN**



A	13.07.2021	RED LINE REVISED.	LO
REV	DATE REVISED	REVISION	REV BY

CLIENT Bromford		PROJECT Stockwells, Moreton-in-Marsh	
DRAWING TITLE Site Location Plan		DRAWING SCALE 1:1250 (A4)	DATE DRAWN 29.11.2019
DRAWN BY LISA OAKLEY	CHECKED BY SIMON OAKLEY	JOB NUMBER 201734	DRAWING NUMBER <b>03A</b>



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STOCKWELLS			
SCHEDULE OF ACCOMMODATION			
TYPE	AREA(m <sup>2</sup> )	No.	PARKING
28 HOLT HOUSE DS	MID 80.7 END 81.0	25	200%
38 THEIFORD HOUSE DS	MID 103.4 END 103.8	3	200%
<b>TOTAL</b>		<b>28</b>	



- EXTERNAL WORKS LEGEND**
- Existing trees
  - Existing trees to be removed
  - Ornamental trees
  - Ornamental shrubs and herbaceous planting
  - Grass
  - 1.8m high ribbed basalt fence gates with galvanneal steel section, nose, and trailer for top lock, clear width 900mm. Concrete gate to have slabbed.
  - 1.8m high ribbed basalt fence with concrete posts & concrete gravel boards.
  - 900mm high timber post and rail fence.
  - 1.2m high hedge
  - 240mm garden waste bin
  - 240mm garden waste bin

- Kerbside
- 450x450mm concrete paving slabs, 1200mm x 1800mm for parking, slabs with 100mm wide joint path or 1200mm jointed paths, nose paths 150mm deep with additional flooring for lift access.
- Kerbside
- Block paving - Oxford T84 with coping aprons abraded with coarse sand block.
- RCA
- Open topped manhole
- Square manhole
- Bollard
- All Brd & cut boxes to be located at High level under main drainage.
- Suitable trade in fence for Pulpit top - 120x120mm.
- Log piles & Enfieldite Mulch/erys 100mm/200mm, enclosed with 1.2m high fence.
- Air source heat pump.
- Landscaping adjacent to parking areas with a minimum grass height in the immediate area of no more than 50mm.
- Soft landscaping to be in accordance with Landscape Designer's details.
- Refer to structural engineers drawing for section of retaining concrete gravel boards and retaining walls.

**SITE PLAN**



REV	DATE	REVISED	REVISION	REV BY
1	11/10/20	1	REVISED	LD
2	11/10/20	1	REVISED	LD
3	11/10/20	1	REVISED	LD
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CLIENT: Bramford

PROJECT: Stockwells, Moreton-in-Marsh

DRAWING TITLE: Site Plan 1:200

DRAWING SCALE: 1:200 (A1)

DATE DRAWN: 26.03.2020

DRAWN BY: Lisa Oakley

CHECKED BY: Simon Oakley

JOB NUMBER: 201734

DRAWING NUMBER: 18J



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C	28.07.2021	UPDATED FOR PLANNING	LO
B	14.03.2021	GENERAL UPDATES	LO
A	14.03.2020	GENERAL UPDATES	LO



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**CLIENT**  
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**PROJECT**  
 Stockwells, Moreton-in-Marsh

**DRAWING TITLE**  
 Perspective 1

**DRAWN BY**  
 LISA OAKLEY

**CHECKED BY**  
 SIMON OAKLEY

**DRAWING SCALE**  
 (A3)

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 30.04.2020

**JOB NUMBER**  
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**DRAWING NUMBER**  
 21C



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A	20.02.2021	UPDATES FOR PLANNING.	LO
B	14.03.2022	GENERAL UPDATES.	LO

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**DRAWING TITLE**  
 PERSPECTIVE 2

**DRAWING SCALE**  
 (A3)

**DATE DRAWN**  
 30.04.2020

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 22B

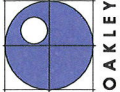




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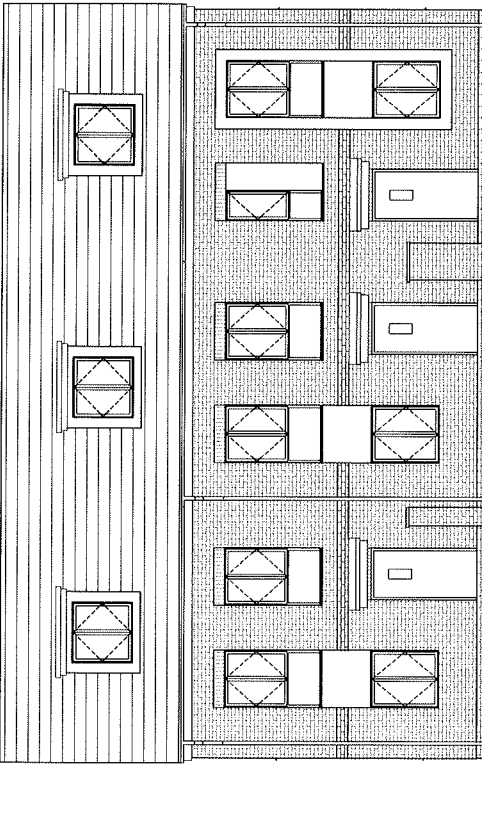
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 PROJECT: **Stockwells, Moreton-in-Marsh**  
 DRAWING TITLE: **Perspective 3**  
 DRAWING SCALE: **[A3]**  
 DATE DRAWN: **30.04.2020**  
 DRAWN BY: **LISA OAKLEY**  
 CHECKED BY: **SIMON OAKLEY**  
 JOB NUMBER: **201734**  
 DRAWING NUMBER: **39**



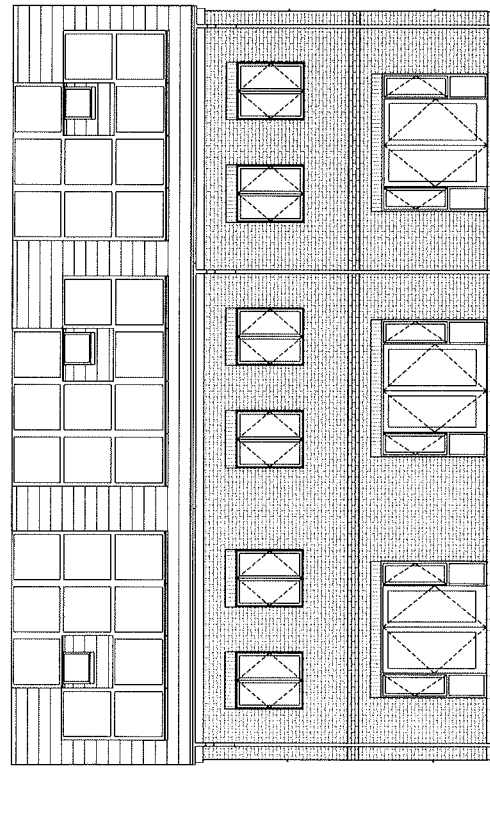


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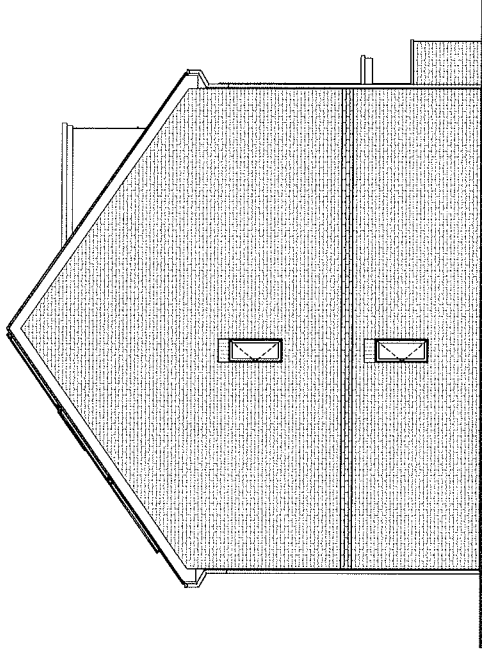
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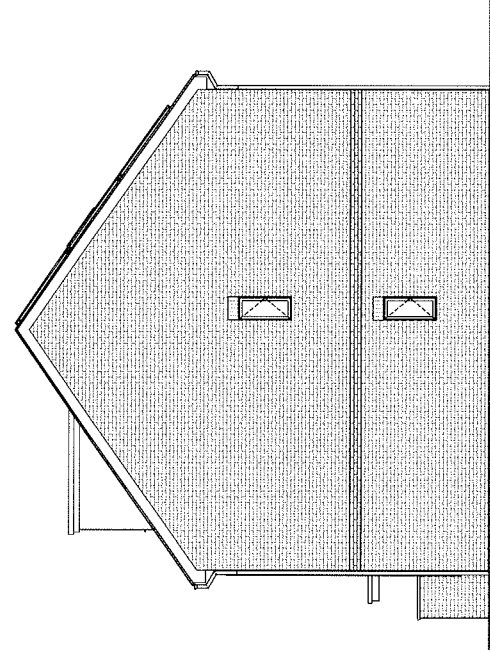
FRONT ELEVATION OF PLOTS 6-8



REAR ELEVATION OF PLOTS 6-8



SIDE ELEVATION OF PLOTS 6-8



SIDE ELEVATION OF PLOTS 6-8

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PROJECT  
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DRAWING TITLE  
 Elevations Plots 6-8

DRAWING SCALE  
 1:100 (A3)

DATE DRAWN  
 02.07.2021

DRAWN BY  
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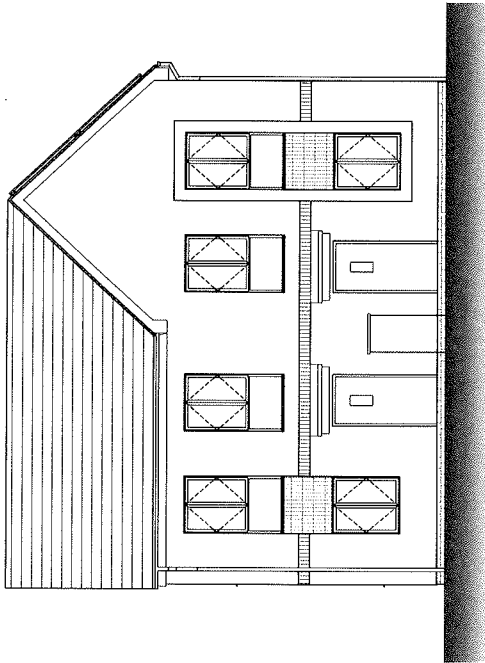
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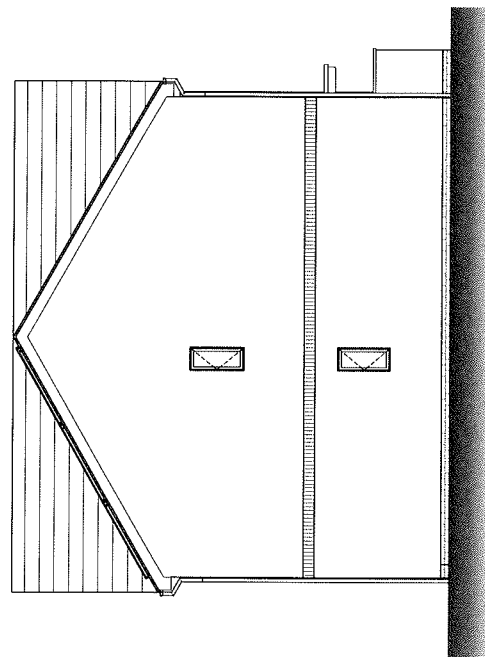
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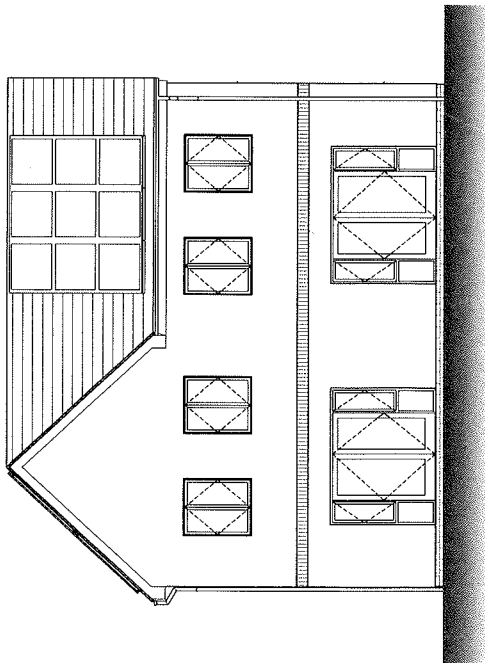
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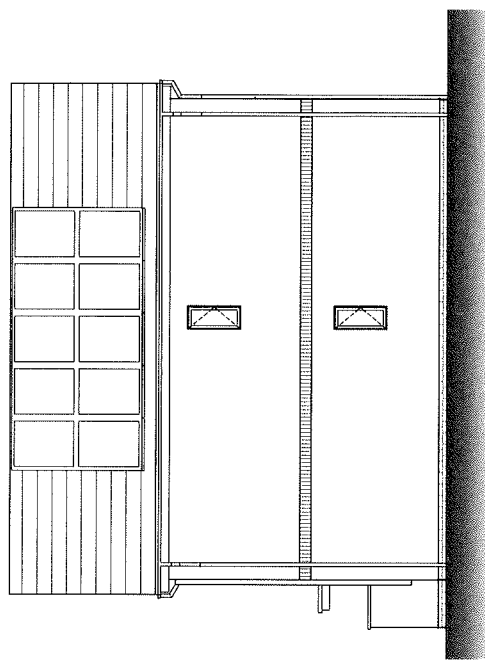
**FRONT ELEVATION OF PLOTS 1-2 & 9-10**



**SIDE ELEVATION OF PLOTS 1-2 & 9-10**



**REAR ELEVATION OF PLOTS 1-2 & 9-10**



**SIDE ELEVATION OF PLOTS 1-2 & 9-10**

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DRAWING TITLE  
 Elevations Plots 1-2,9-10

DRAWING SCALE  
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DATE DRAWN  
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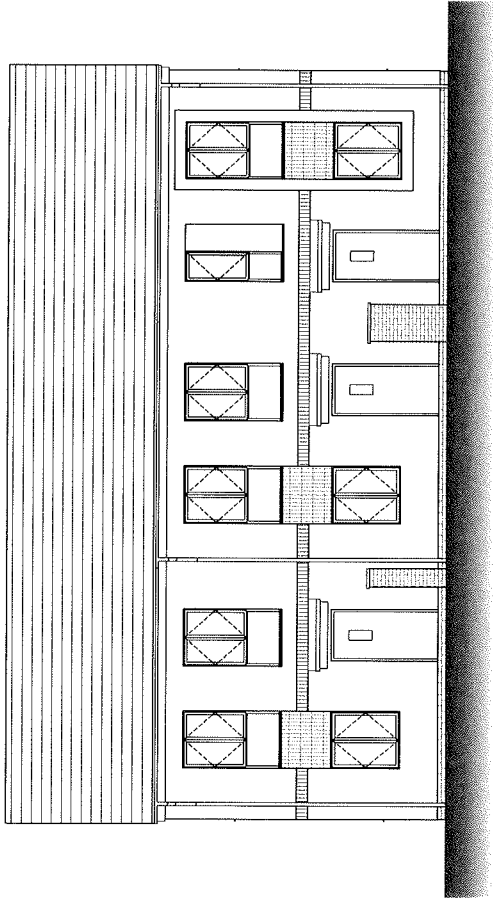
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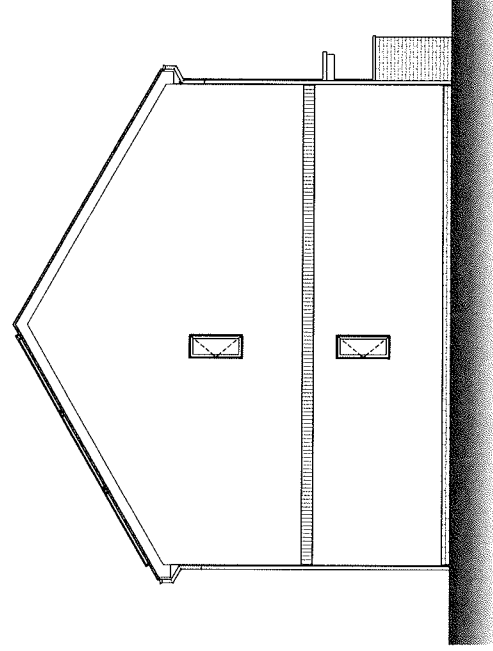
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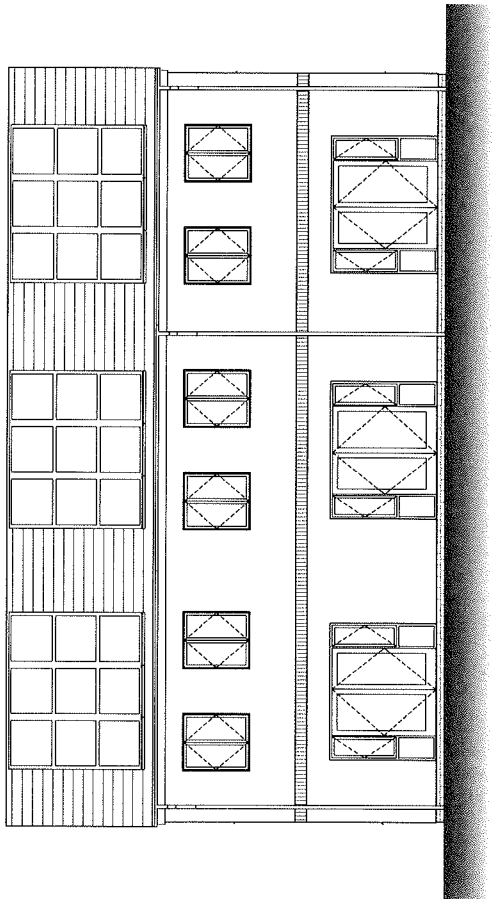
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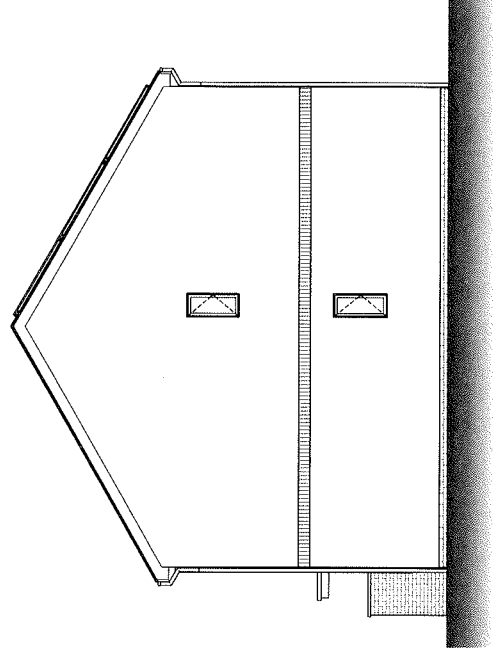
**FRONT ELEVATION OF PLOTS 11-13 & 16-18**



**SIDE ELEVATION OF PLOTS 11-13 & 16-18**



**REAR ELEVATION OF PLOTS 11-13 & 16-18**



**SIDE ELEVATION OF PLOTS 11-13 & 16-18**

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DRAWING TITLE  
 Elevations Plots 11-13, 16-18

DRAWING SCALE  
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